

SECTION

B

Community Patterns

Lot Types

PRAIRIE TRAIL OFFERS A VARIETY of lot types and locations throughout the different neighborhoods. These types include Townhouse, Attached, Garden, Hamlet, Village, Estate, Manor, and Front-Loaded lots. The average size of these lots and guidelines for placing houses on the lots are described in the pages which follow. The lots are designed to accommodate a range of house sizes and types within the community. Most of these lots have rear lane access and parking—either a garage, carport, or paved parking pad may be constructed. Some lot types may be accessed directly from the street. Attached house lots offer the opportunity to have multiple units designed in the form of large houses.

Lot Type Plan for the Prairie Trail Community

Prairie Trail Lot Types

COMMUNITY PATTERNS

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THE COMMUNITY PATTERNS SECTION provides specific requirements for placing buildings on their lots within the plan. These guidelines were developed as part of the master planning process and are meant to ensure that the diversity and character of Prairie Trail is supported in the implementation of the plan.

This user-friendly section begins with descriptions of the addresses within the plan that give Prairie Trail its unique character. The plan is composed of a continuous sequence of public spaces diverse in their character and quality. Each public space, or Address, is illustrated with a detailed plan, street section and perspective. The design of the streets, the placement of the buildings and the landscape are arranged in different ways to create distinct addresses that enrich the neighborhood.

The neighborhoods of Prairie Trail have a variety of Lot Types which accommodate a range of house sizes. The lot types are located in the Lot Type Plan. The rules for each lot type are described on the following pages and include the placement of buildings, location of setbacks, facade zones and yards, access, parking, and screening.

Village Lot Specifications

Plan/Typing Lot Zones and Setbacks

Plan/Zone Placement on Village Lot

Lot Size
Lots are typically 80 to 80 feet wide by 100 to 120 feet deep.

Main Body
The main body of the house shall be a maximum of 46 feet wide within the Front Facade Zone.

Front Yard Setback/ Front Facade Zone
Typically houses have a minimum 15-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 10-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback
Side Yard Setbacks should tend a minimum of 10 feet between buildings.

Side Street Setback/ Side Street Facade Zone
Minimum 10-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent 10-foot-deep Side Street Facade Zone.

Alley Setback
Minimum 7-foot setback from the rear property line.

Side Wings
1- to 1½-story side wings are encouraged. These side wings shall be set back from the front facade of the main body by a distance equal to, or greater than, the width of the side wing.

Porch Encroachments
Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements
Garages shall be set back either a minimum of 7 feet from the rear line right-of-way or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached.

Fencing Recommendations
Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. (For more specific fencing guidelines, see page D-5 in the Landscape Patterns section.)

Village Lots

COMMUNITY PATTERNS

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Overview

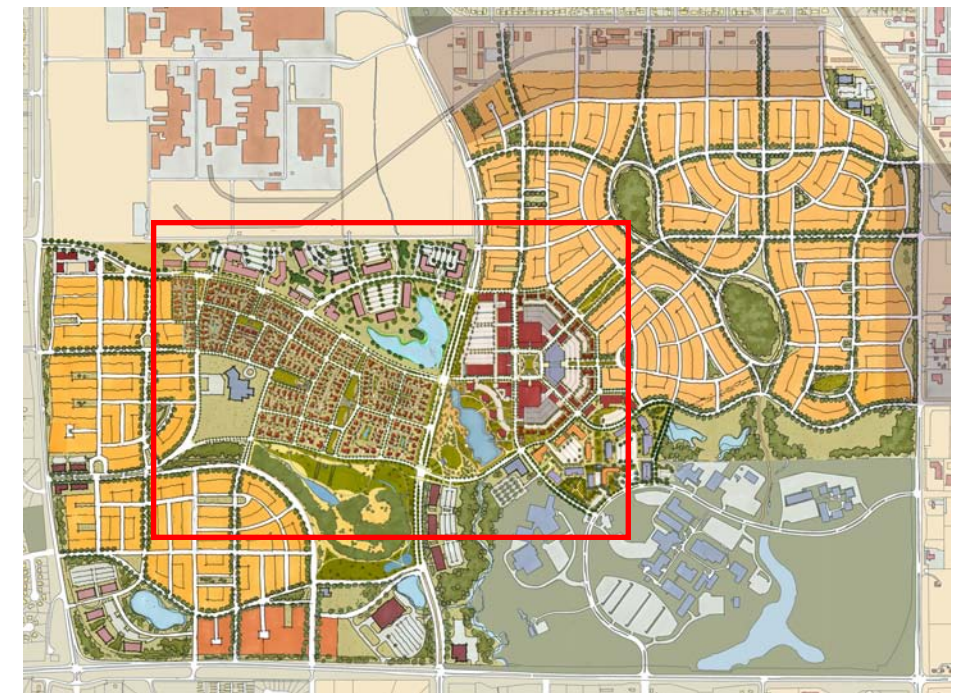


Address locations for the Prairie Trail Community

Addresses

THE PRAIRIE TRAIL PLAN will include several special addresses that give unique character to each part of the plan and provide a diverse set of experiences as one travels through the neighborhood. Each address will be defined by its particular arrangement of house types, the way the houses address the street, and the particular streetscape of that zone. They will also vary depending on their location around special features such as parks or the Town Square. Community centers will also be established to serve as focal points for the neighborhoods and gathering places for Prairie Trail residents. The addresses described in this section are:

- | | |
|-------------------------------|-----------------------------------|
| A Neighborhood Streets | F Shopping Street |
| B Parkway | G Community Park |
| C Residential Court | H High Density Residential |
| D Crescent Park | I Business Park |
| E Town Square | J Commercial Out Parcel |



Addresses Within the Plan



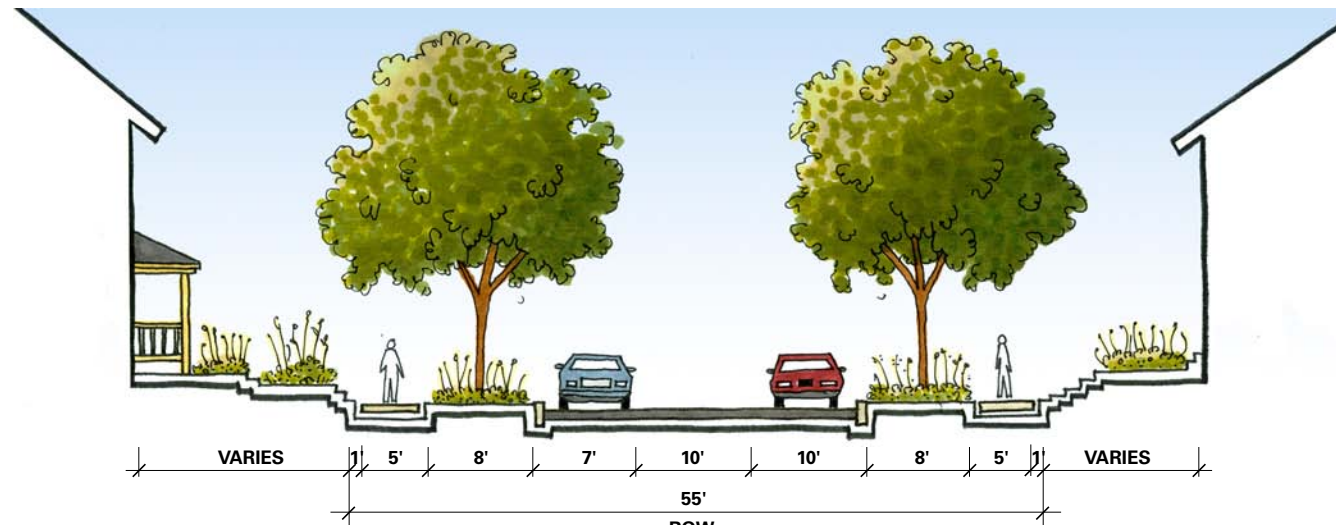
Detail plan of neighborhood streets



View along a typical neighborhood street

The neighborhood streets in Prairie Trail build on the great traditions of Iowa neighborhoods. The streets are pedestrian-friendly with generous tree lawns and continuous sidewalks. The streets are designed to discourage speeding and accommodate on-street parking. Parking in each lot will be rear-loaded from alleys for smaller lots and front-

loaded from the street in larger lots. Garages will be behind the houses. Front yard depths vary based on local conditions. Each street will be unique in character with a rich inventory of houses that build on the architectural traditions of the greatest neighborhoods in the Des Moines area.



Typical Prairie Trail neighborhood street section



Neighborhood Streets



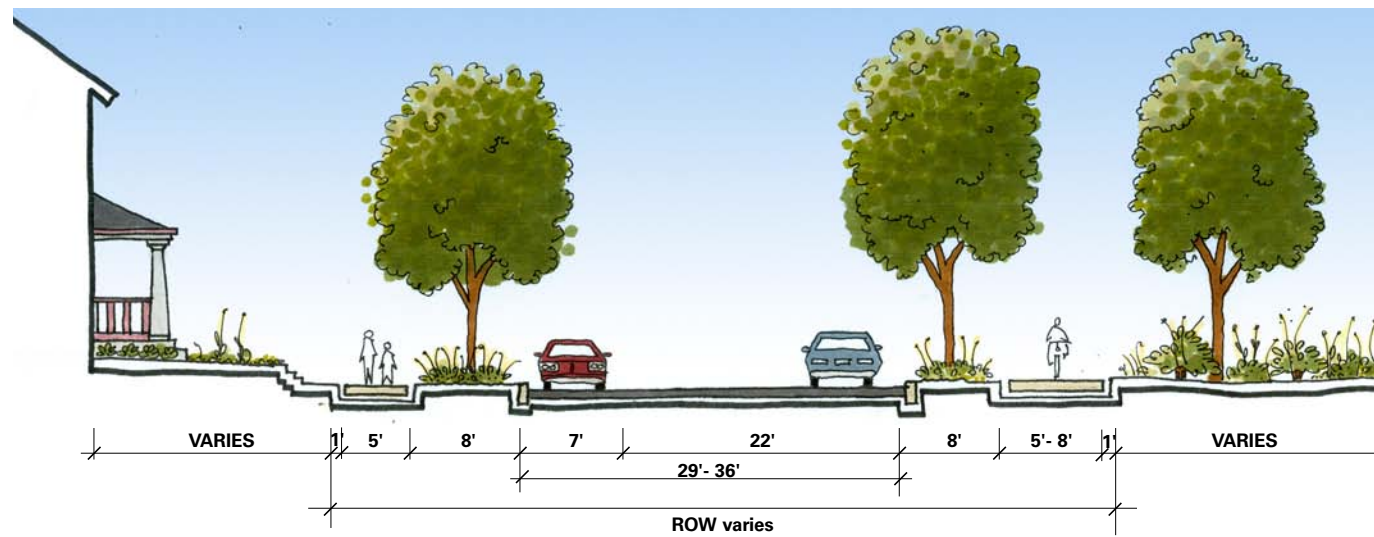
Detail plan of parkway address



View along parkway

Prairie Trail is designed with a series of natural open space corridors that provide a range of open spaces including water courses, restored prairie, passive and more active recreation areas and trails. These corridors are signature addresses and great amenities for the adjoining neighborhoods. Winding streets follow the edges of these corridors and

are fronted by houses with great views of the open space. The streets are typically collector streets and are wider to accommodate higher traffic volumes. Houses are set back from the street with deeper front yards. The landscape transitions from native plant species in the open space corridors to manicured front lawns.



Typical Parkway section



Parkway



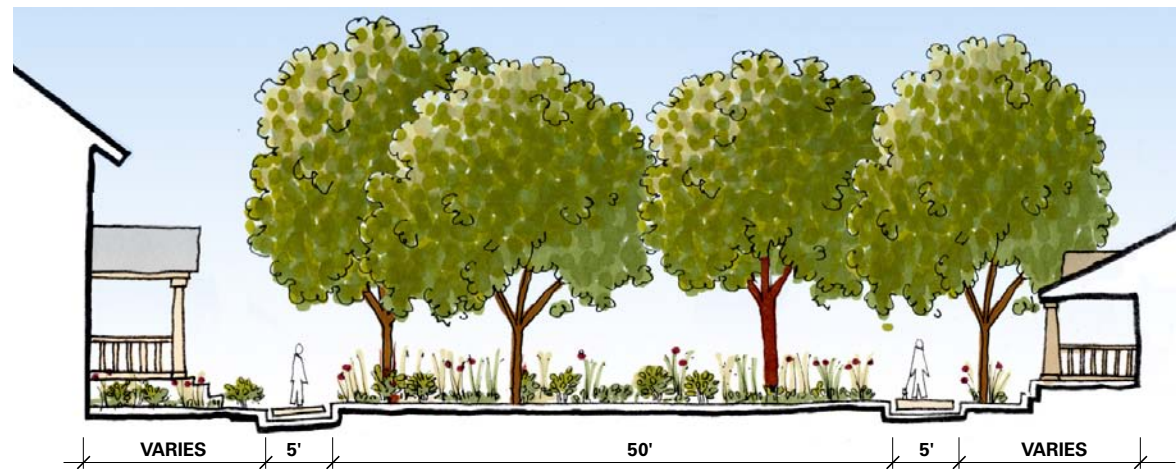
Detail plan of residential court



A view of a typical residential court

The residential courts are the most intimate addresses in Prairie Trail and follow a rich tradition of courtyard housing in America. Small houses are grouped around a shared front lawn, creating a quiet semi-private garden setting. The houses are designed with porches which face a circumambulating

walk that connects to the street. The courts feature an attractive center lawn with flowering trees and garden beds. Parking for each lot is accessible from alleys behind the houses. Each court is distinguished by the houses which share a common architectural vocabulary.



Section through a residential court



Residential Court



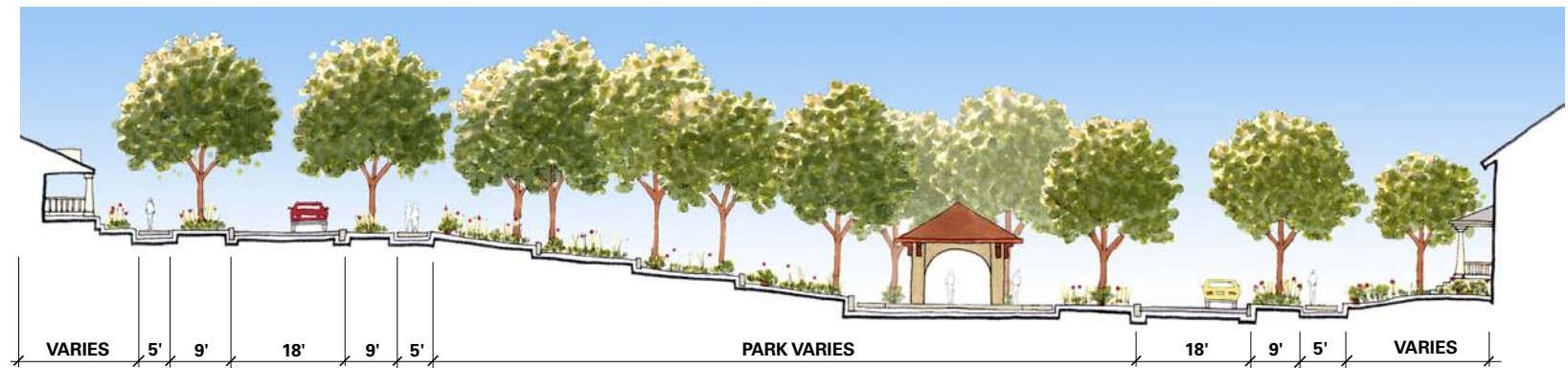
Detail plan of Crescent Park



A view of Crescent Park pavilion and Address

Crescent Park is a large park address located in the center of the neighborhood. A pair of streets form a continuous green that connects two major open space corridors. The streets diverge to form the park which is wide enough for a passive open space, a central garden

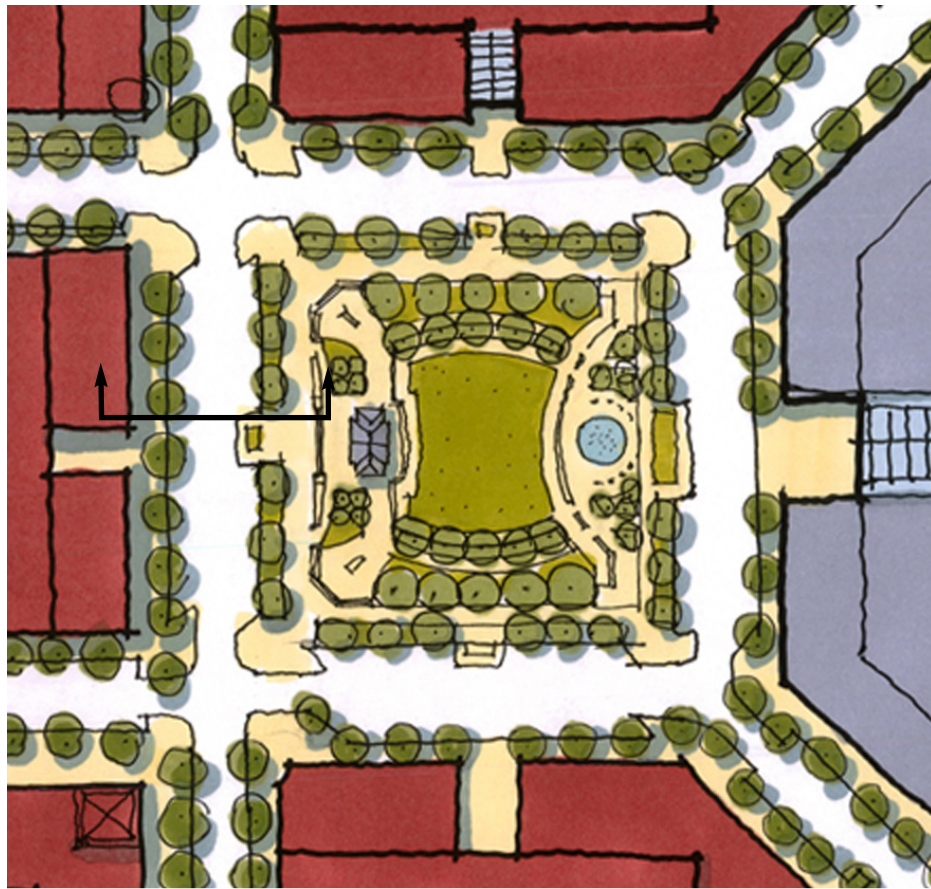
and curving trails that converge on a central pavilion. The pavilion is the visual terminus of an intersecting neighborhood street. A curving line of houses with distinctive architectural character will enclose Crescent Park.



Street section through Crescent Park

Crescent Park





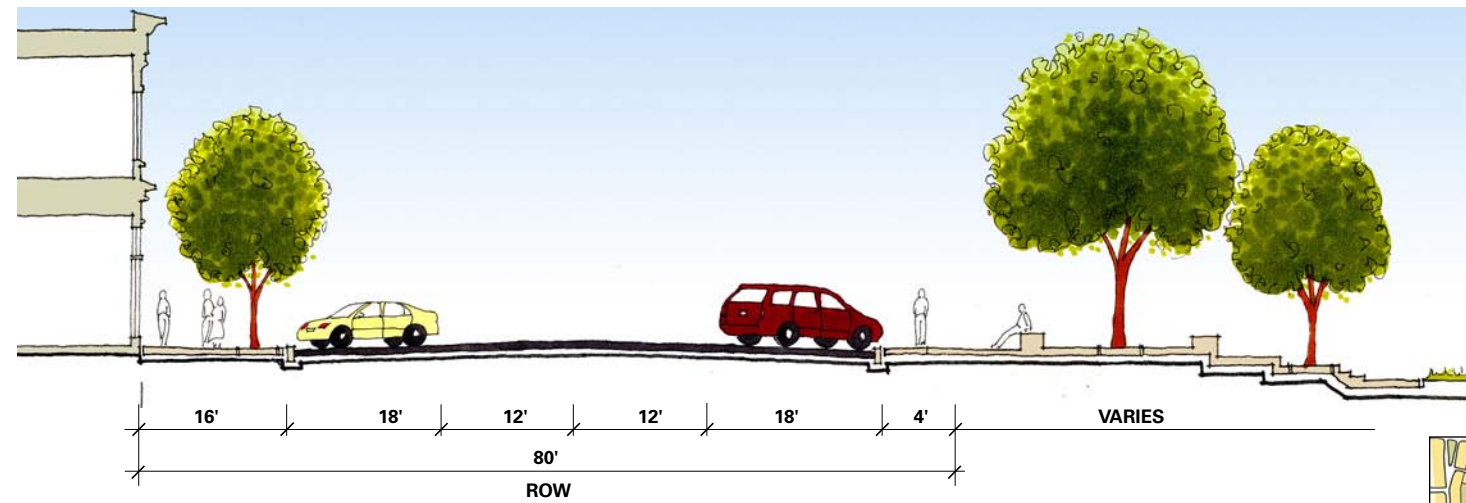
Detail plan of the Town Square



An aerial view of the Prairie Trail Town Center with the Town Square as its focal point

At the heart of Prairie Trail's town center is a traditional Iowa Town Square, similar in dimension and proportion to Winterset, Adel and other well-known towns in the region. Several streets converge on the square from surrounding residential neighborhoods. Diagonal parking and generous sidewalks surround the square. The square is designed to accommodate a variety of community activities for Ankeny,

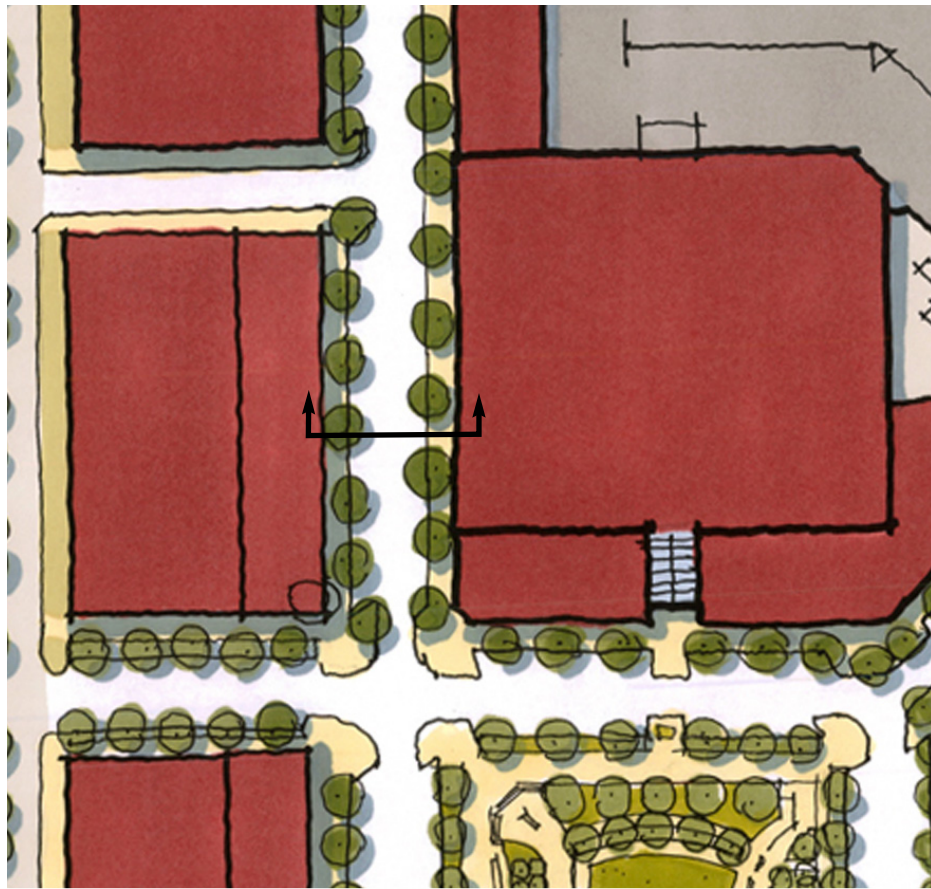
including community concerts, open air markets and ice skating. Major civic buildings lined with shops are located on one side of the square. Major retail anchors are located on the remaining three sides behind small shops and restaurants. The architecture of the town square is based on Iowa precedents with second and third floor offices and loft residential units.



Street section through the Town Square



Town Square



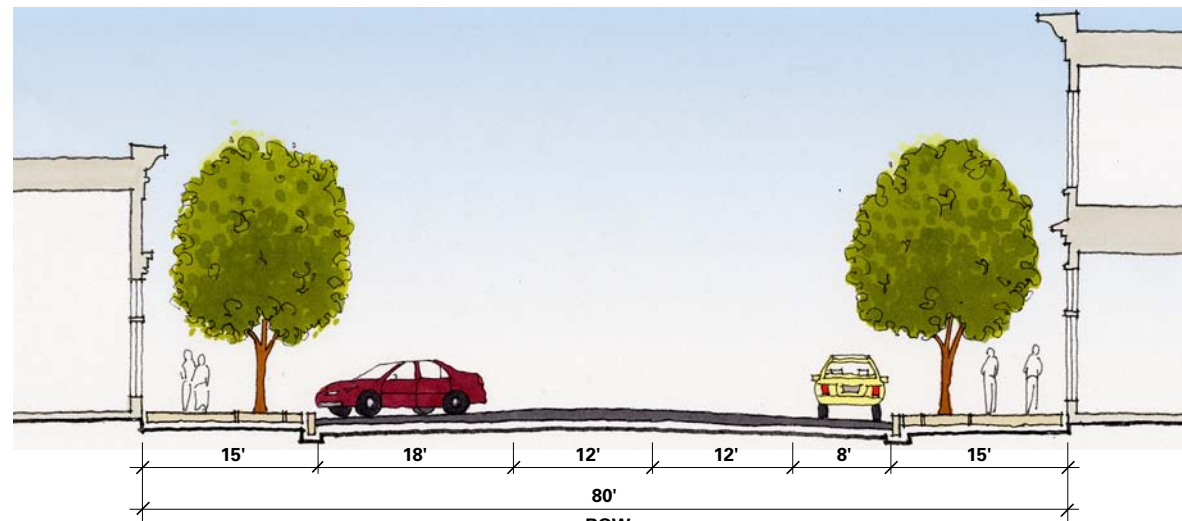
Detail plan of a shopping street



Aerial view of a shopping street

The retail streets leading into the Town Square are important pedestrian and vehicular connections between residential neighborhoods, parking areas and the Town Center. Designed with wide sidewalks and on-street parking, these streets will be lined with shops and restaurants. The streets also provide entries to major retail anchors. Some of

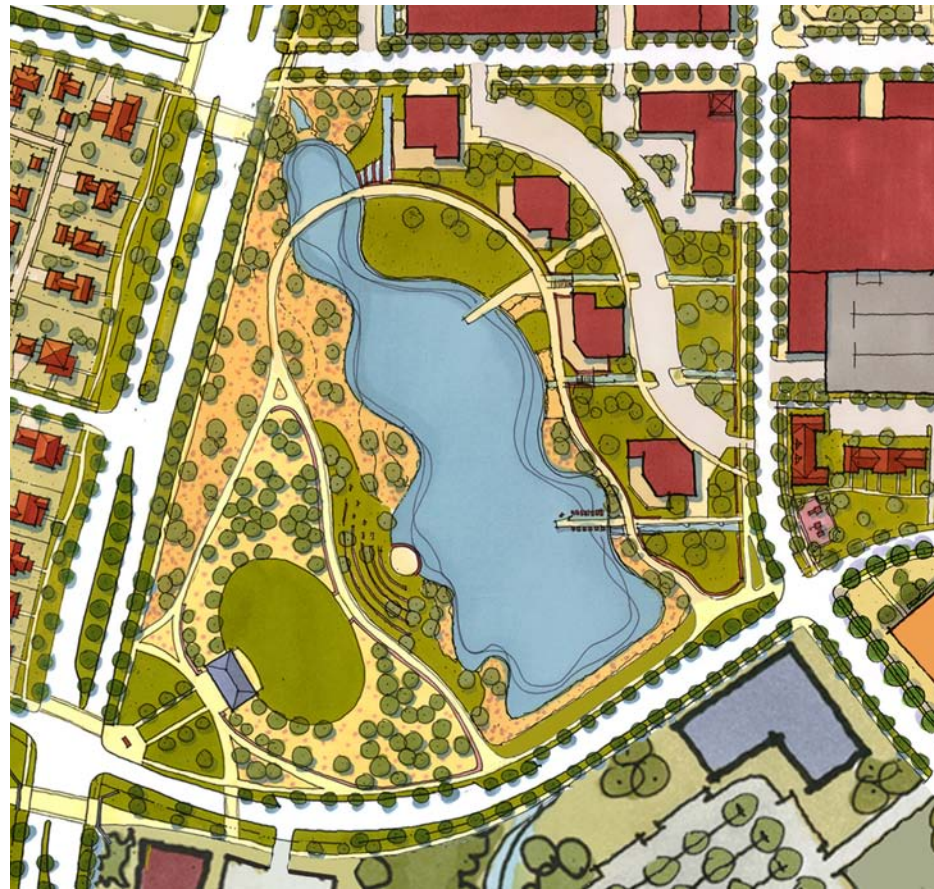
the streets are wide enough for diagonal parking on one side and parallel parking on the other. Entry points to major mid-block parking areas are located on these streets for both pedestrians and vehicles. Parking and service areas will be screened from the streets with buildings, walls, and landscaping.



Typical street section through a shopping street



Shopping Street



Detail plan of Community Park adjacent to Prairie Trail Town Center



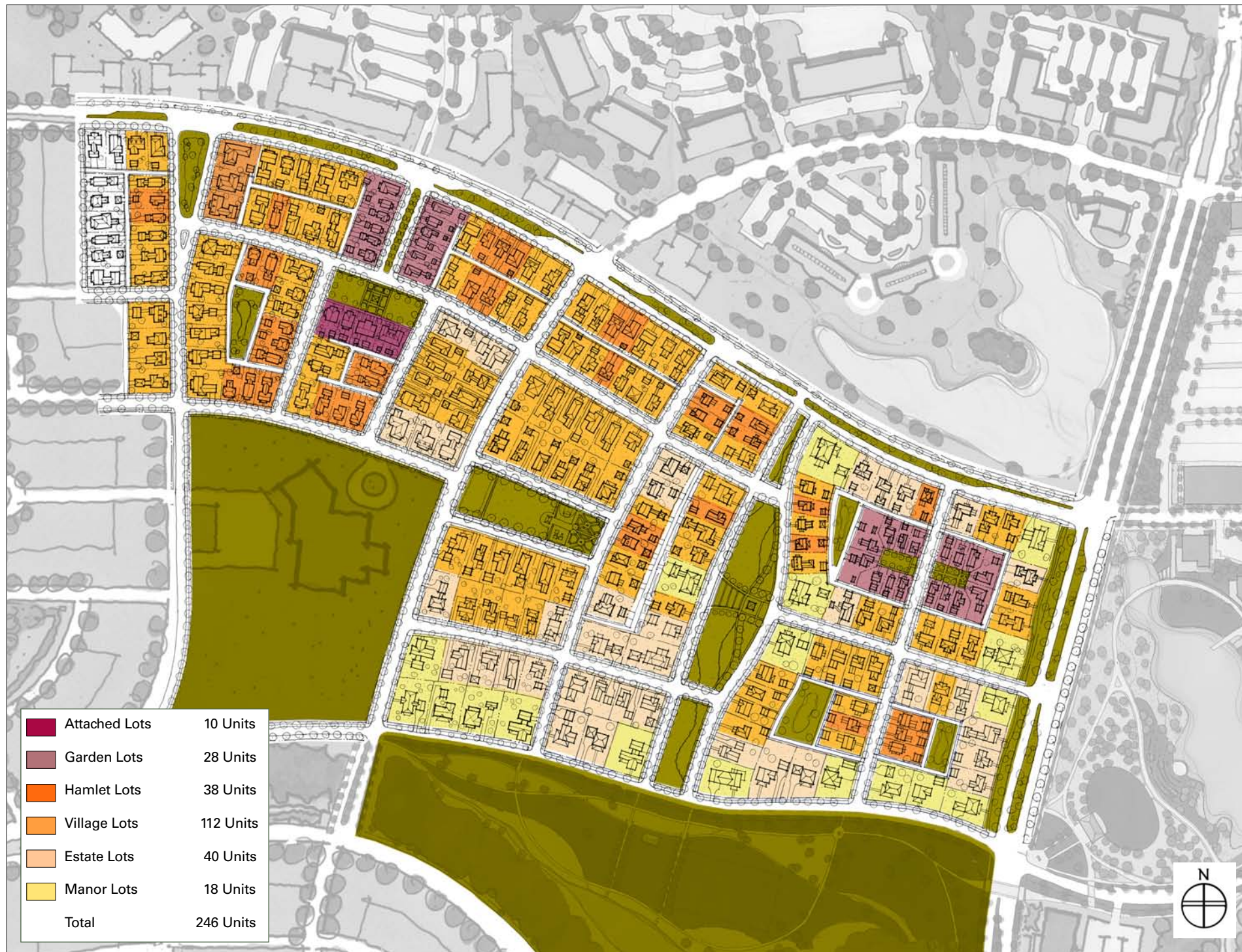
A perspective across the Community Park

The Community Park is located along the southeast edge of the Town Center along State Street. A major public amenity, the park is part of a continuous open space corridor. Approaching the Town Center from the south, the park is the foreground public space and a major address. The park features a pavilion and amphitheater on a lake with a series of restaurants incorporat-

ing outdoor dining terraces on the Town Center side. The activities of the lake are connected by a trail. The park is designed for major public events and daily dining, boating and passive uses. The park is within easy walking distance of both the Town Square and residential areas. On-street parking along the southern edge of the park will also be provided for visitors.

Community Park

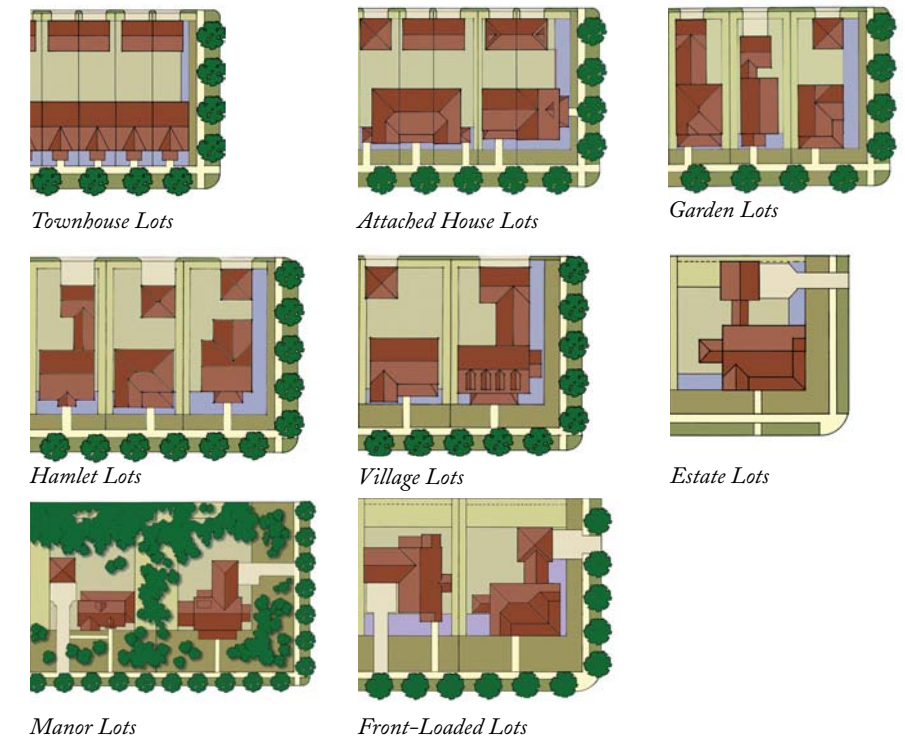




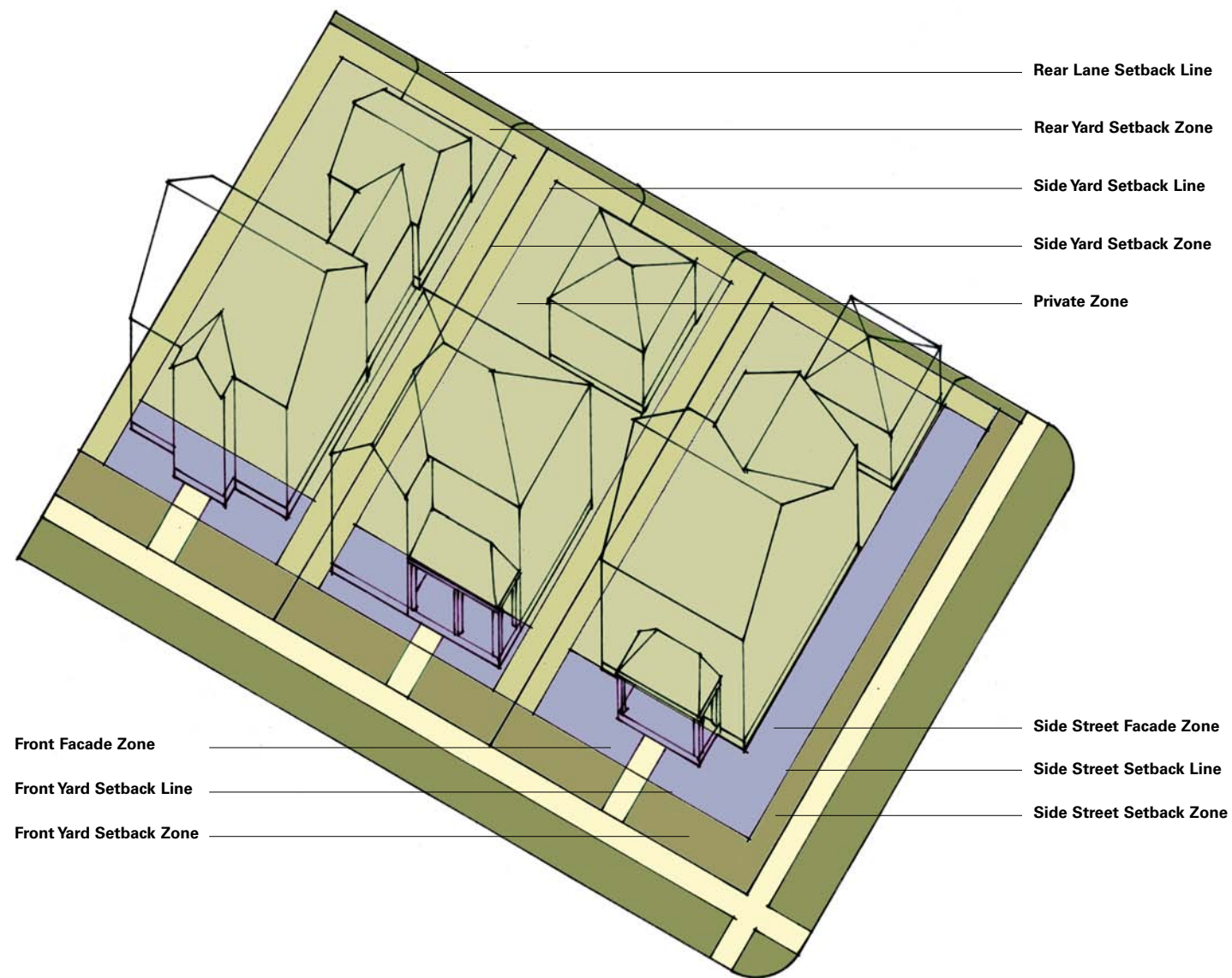
Lot Type Plan for the Prairie Trail Community

Lot Types

PRAIRIE TRAIL OFFERS A VARIETY of lot types and locations throughout the different neighborhoods. These types include Townhouse, Attached, Garden, Hamlet, Village, Estate, Manor, and Front-Loaded lots. The average size of these lots and guidelines for placing houses on the lots are described in the pages which follow. The lots are designed to accommodate a range of house sizes and types within the community. Most of these lots have rear lane accessed parking—either a garage, carport, or paved parking pad may be constructed. Some lot types may be accessed directly from the street. Attached house lots offer the opportunity to have multiple units designed in the form of large houses.



Prairie Trail Lot Types



A typical diagram explaining the locations of various lot setback requirements

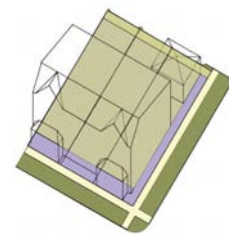
Setback Requirements

Each lot has a series of setback lines that define a minimum yard between houses, streets, and rear lanes. There are also zones within which the house shall be placed. The **Front Facade** shall be placed within the **Front Facade Zone** (described in the general conditions which follow for each lot type in the Community Patterns section). This zone is set back from the front property line at a distance defined by the **Front Yard Setback Line**. The depth of the zone is measured from that line. The **Front Yard Setback Zone** is the area between the Front Yard Setback Line and the front property line. Porches may extend up to 8 feet into the Front Facade Zone. Bay windows may also extend up to 2 feet into the Front Facade Zone.

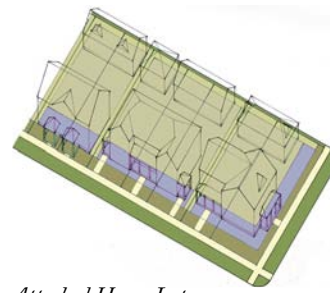
On corner lots, a **Side Street Facade Zone** is established adjacent to the cross

street. It is set back from the side street a certain dimension established in the Community Patterns for each neighborhood and is defined by the **Side Street Setback Line**. The depth of the zone is measured from that line. The main body, side wings, garages, and fences are placed within this zone. All facades within this zone must follow the compositional guidelines established by the architectural patterns. Houses on these lots shall have a continuous building, fence, or wall within the **Side Street Facade Zone**.

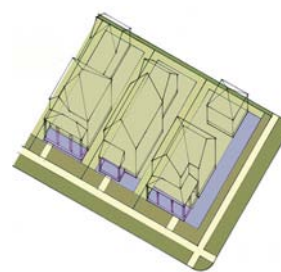
Side Yard Setback Lines define the minimum distance between the structure and the side yard property line. A **Rear Yard Setback Line** is established as a minimum setback for garages and side wings.



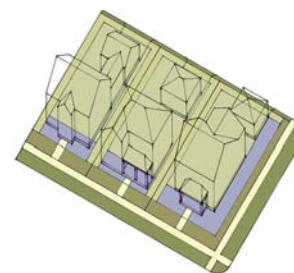
Townhouse Lots



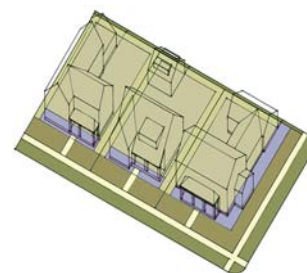
Attached House Lots



Garden Lots

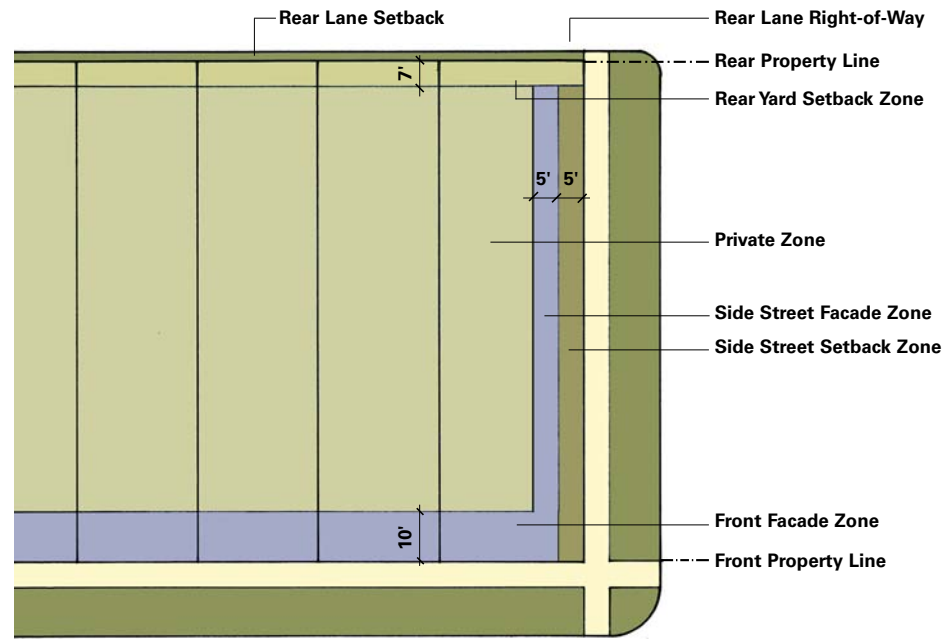


Hamlet Lots

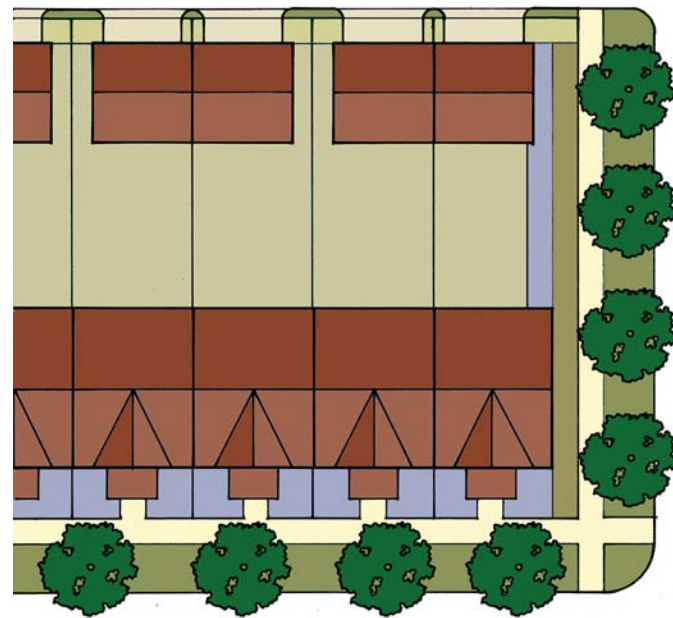


Village Lots

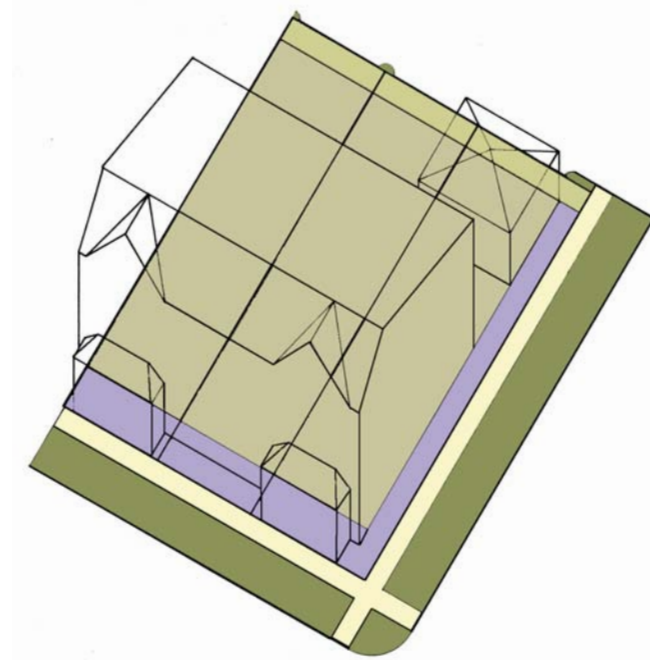
Lot Types—Setback Requirements



Plan of Townhouse Zones and Setbacks



Plan of building placement on the Townhouse Lots



Townhouse Lot Specifications



Character sketch of Townhouse Address

Lot Size

Townhouse lots are typically between 22 to 30 feet wide by 90 to 100 feet deep.

Main Body

The main body of the Townhouse may match the width of the lot. (See lot matrix for specific lot requirements.) A maximum of 6 units may be attached.

Front Yard Setback/ Front Facade Zone

There is no minimum front setback. The front facade of the house may be located anywhere within the 10-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

In cases where buildings are not attached, there is a minimum 5-foot setback from the side street property line to the house.

Side Street Setback/ Side Street Facade Zone

Minimum 5-foot setback from the side street property line to the house. The side facade of a corner unit may be located anywhere within the 5-foot-deep Side Street Facade Zone.

Alley Setback

Minimum 7-foot setback from the rear property line.

Side Wings

Side wings are not permitted on Townhouse lots.

Porch Encroachments

Porches may extend up to 8 feet into the Front Facade Zone. Bay windows may also extend up to 2 feet into the Front Facade Zone. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

Garages are set back either a minimum of 7 feet from the rear lane right-of-way

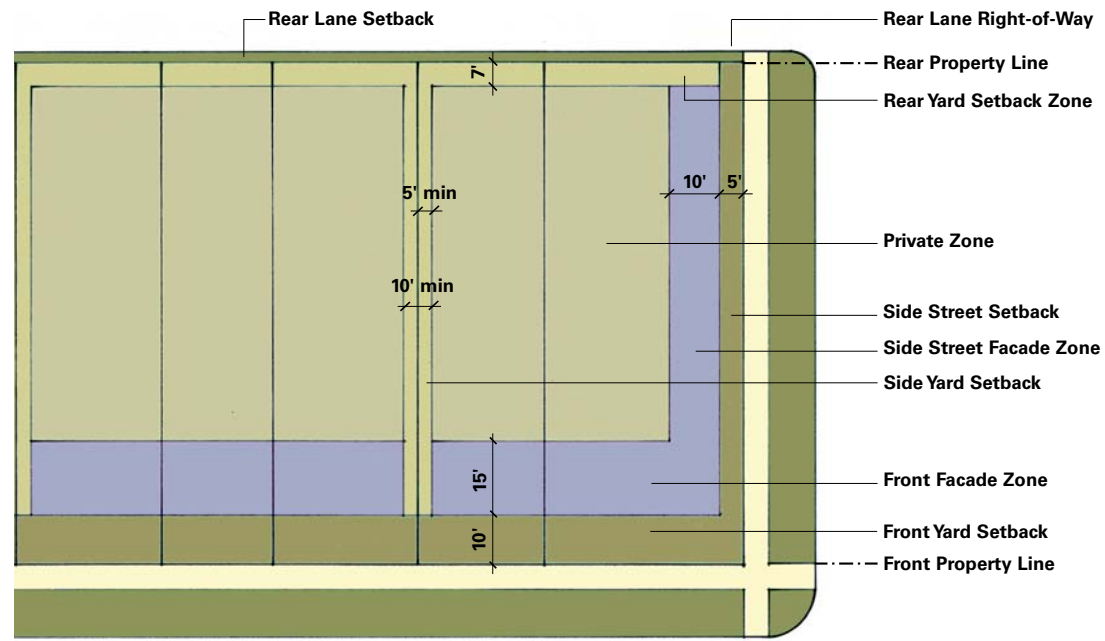
or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached. Garage doors opening onto public streets are not permitted.

Fencing Recommendations

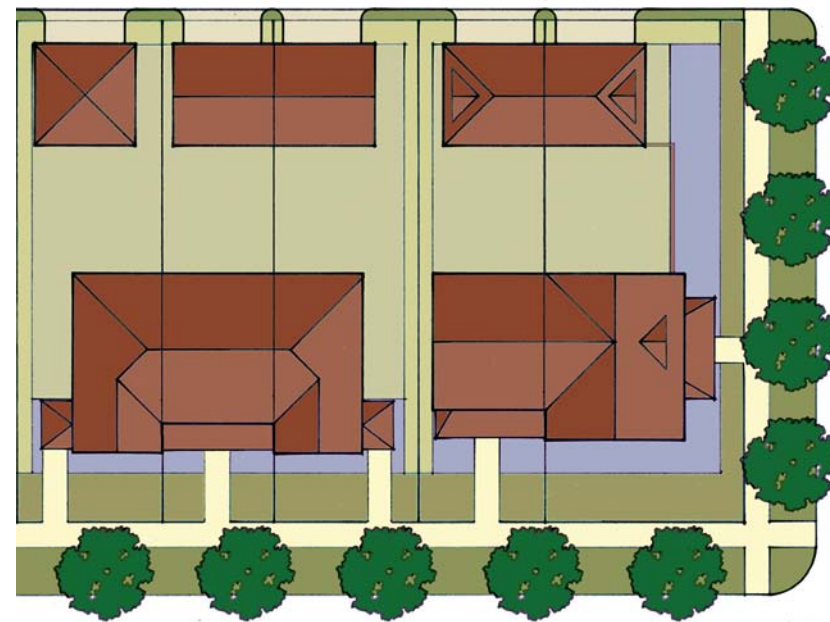
Fences provide delineation between public and private space and are strongly recommended on corner lots. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.



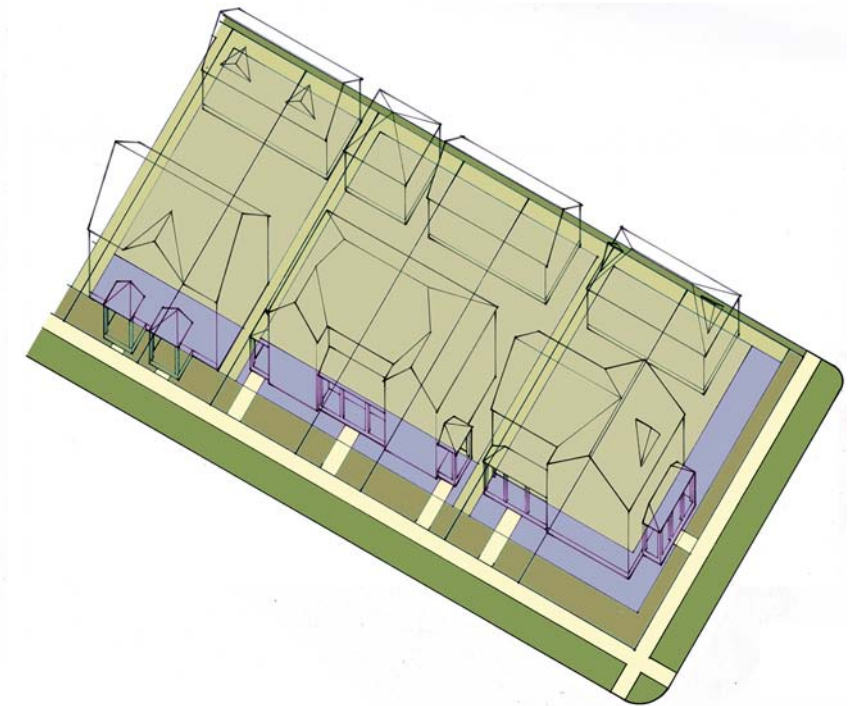
Townhouse Lots



Plan of Attached House Zones and Setbacks



Plan of house placement on the Attached House Lots



Attached House Lot Specifications



View of a Attached Houses on a court

Lot Size

Attached lots are typically 50 to 80 feet wide by 100 to 120 feet deep for duplex units and 75 to 90 feet wide by 100 to 120 feet deep for triplexes.

Main Body

The main body of the attached house shall be a maximum width of 44 feet wide for duplexes and 62 feet wide for triplexes.

Front Yard Setback/ Front Facade Zone

Typically houses have a minimum 10-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the 15-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Minimum 10-foot separation between buildings.

Side Street Setback/ Side Street Facade Zone

Minimum 5-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent 10-foot-deep Side Street Facade Zone.

Alley Setback

Minimum 7-foot setback from the rear property line.

Side Wings

Side wings are not permitted on Attached House lots.

Porch Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to overview of setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

Garages shall be set back either a minimum of 7 feet from the rear lane right-

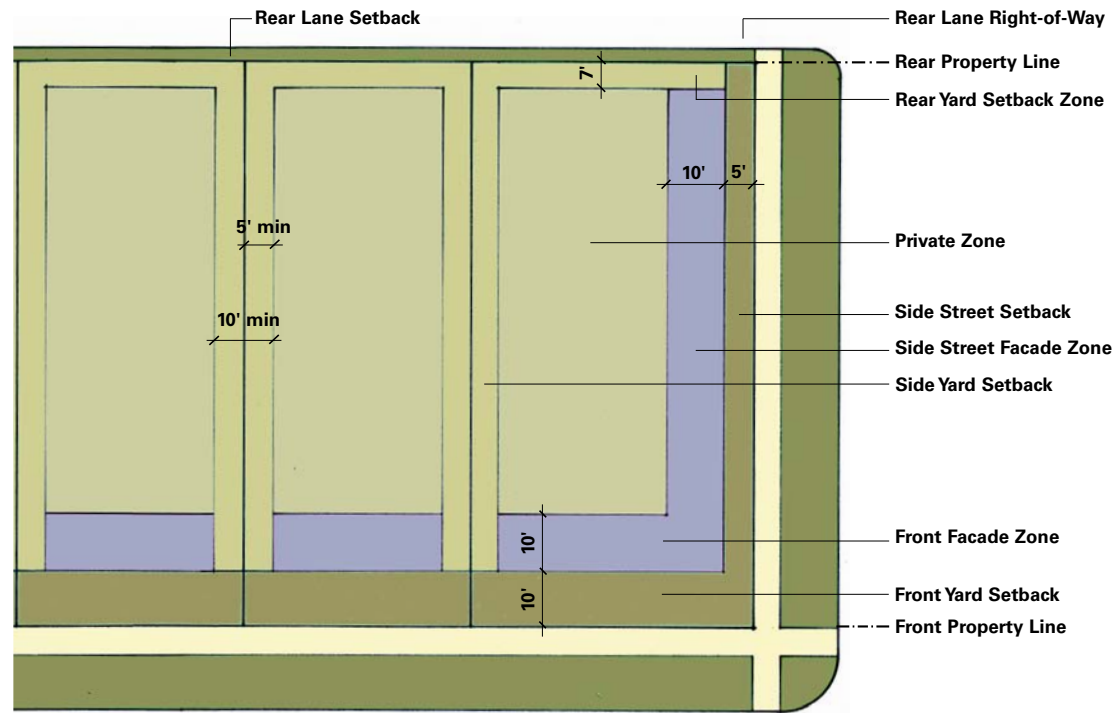
of-way or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached. Garage doors opening onto public streets are not permitted.

Fencing Recommendations

Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns Section.



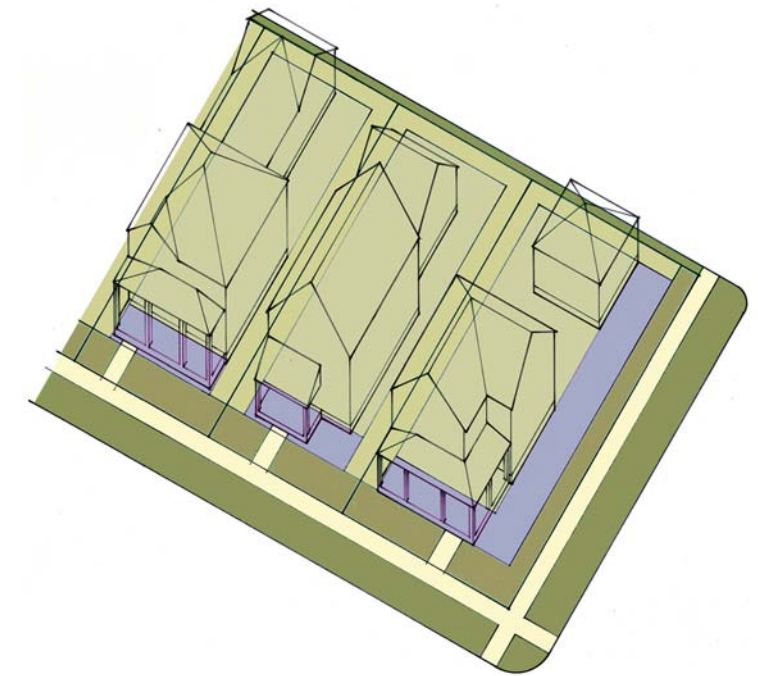
Attached House Lots



Plan of Garden Lot Zones and Setbacks



Plan of house placement on Garden Lots



Garden Lot Specifications



Illustration of Garden Lots along a court

Garden Lots

Lot Size

Lots are typically 40 to 49 feet wide by 100 to 120 feet deep.

Main Body

The main body of the house shall be between 24 and 32 feet wide within the Front Facade Zone.

Front Yard Setback/ Front Facade Zone

Typically houses have a minimum 10-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 10-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 10 feet between buildings.

Side Street Setback/ Side Street Facade Zone

Minimum 5-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent 10-foot-deep Side Street Facade Zone.

Alley Setback

Minimum 7-foot setback from the rear property line.

Side Wings

1- to 1½-story side wings are encouraged. These side wings shall be set back from the front facade of the main body by a distance equal to, or greater than, the width of the side wing.

Porch Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

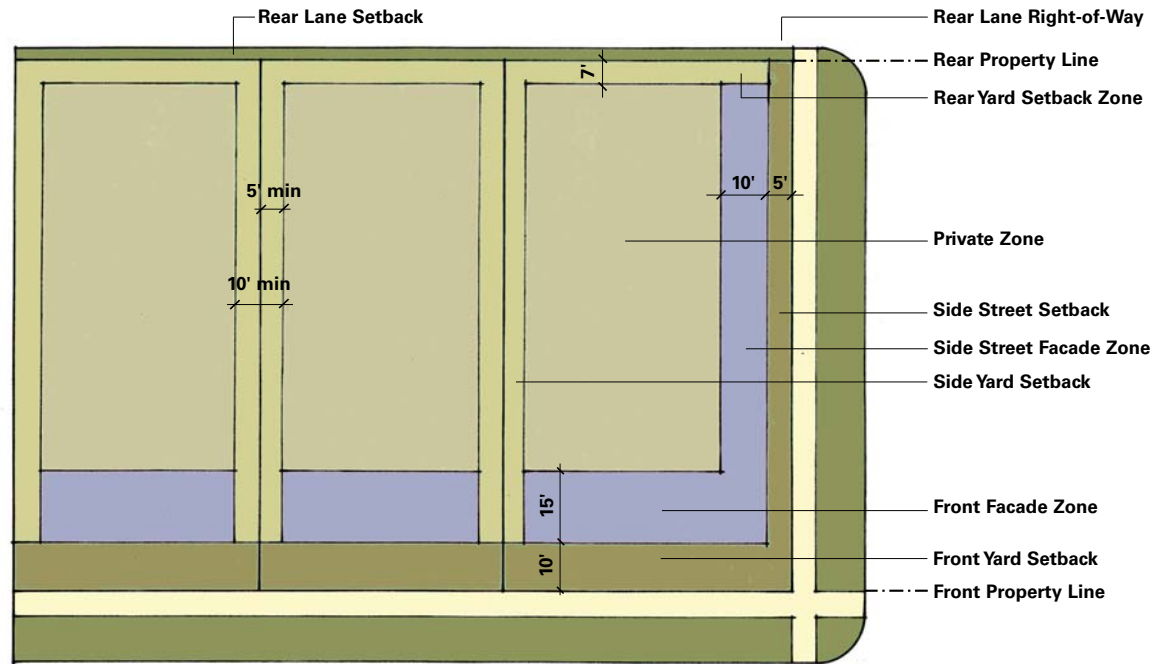
Garages shall be set back either a minimum of 7 feet from the rear lane right-of-way or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached. Garage

doors opening onto public streets are not permitted.

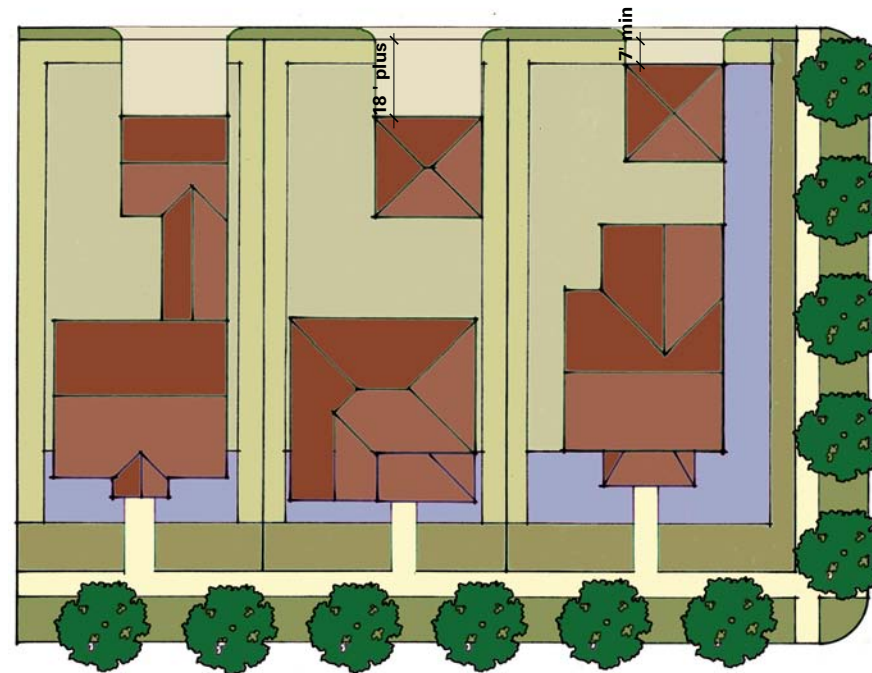
Fencing Recommendations

Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.

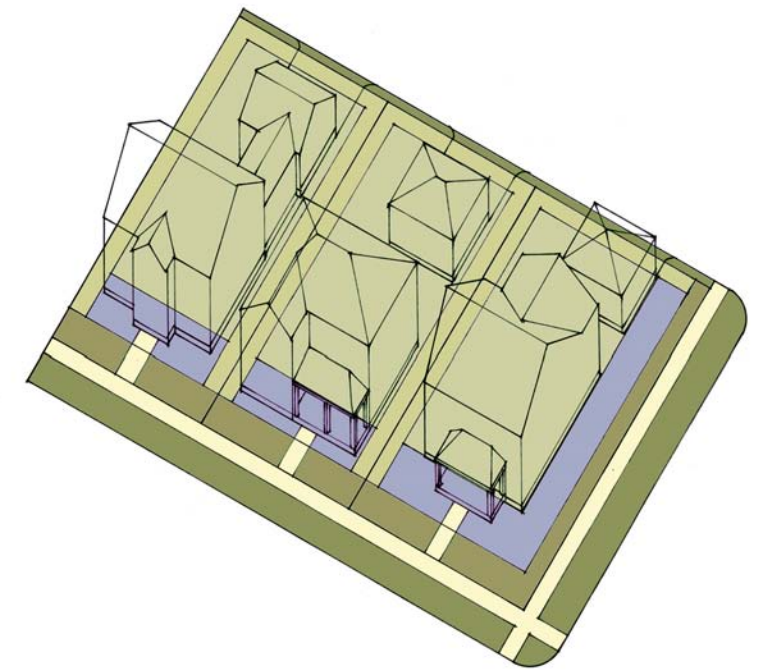




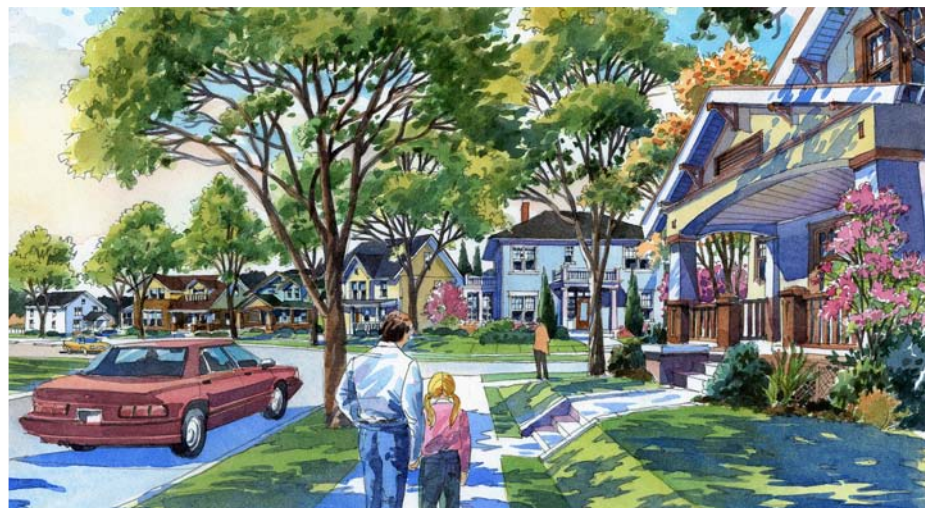
Plan of Hamlet Lot Zones and Setbacks



Plan of house placement on Hamlet Lots



Hamlet Lot Specifications



A sketch illustrating the character of Hamlet Lots

Lot Size

Lots are typically 50 to 59 feet wide by 100 to 120 feet deep.

Main Body

The main body of the house shall be between 28 and 36 feet wide within the Front Facade Zone.

Front Yard Setback/ Front Facade Zone

Typically houses have a minimum 10-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 15-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 10 feet between buildings.

Side Street Setback/ Side Street Facade Zone

Minimum 5-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent 10-foot-deep Side Street Facade Zone.

Alley Setback

Minimum 7-foot setback from the rear property line.

Side Wings

1- to 1½-story side wings are encouraged. These side wings shall be set back from the front facade of the main body by a distance equal to, or greater than, the width of the side wing.

Porch Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

Garages shall be set back either a mini-

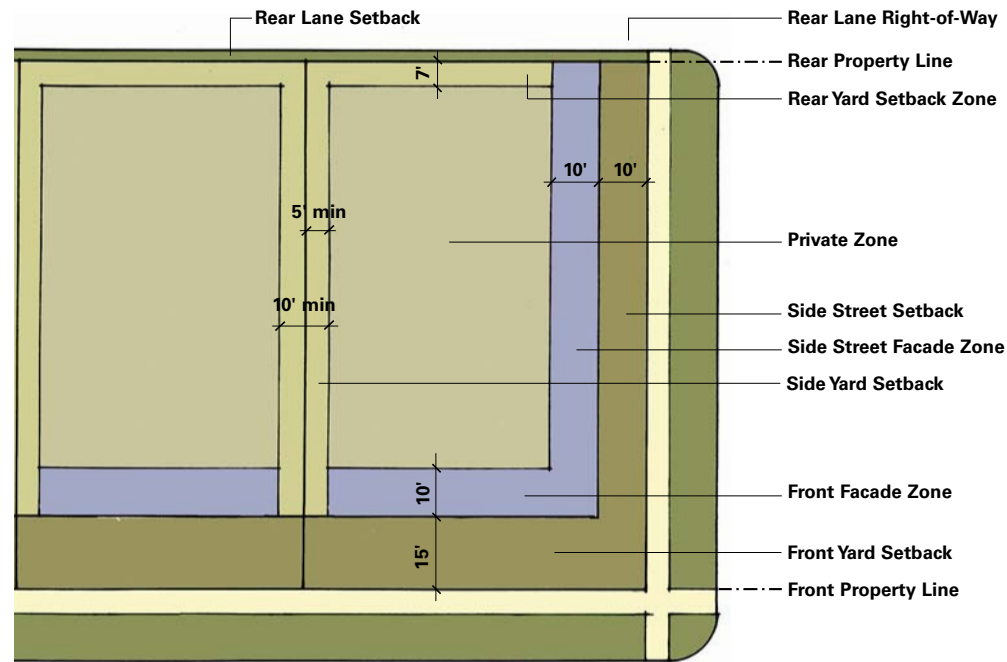
imum of 7 feet from the rear lane right-of-way or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached. Garage doors opening onto public streets are not permitted.

Fencing Recommendations

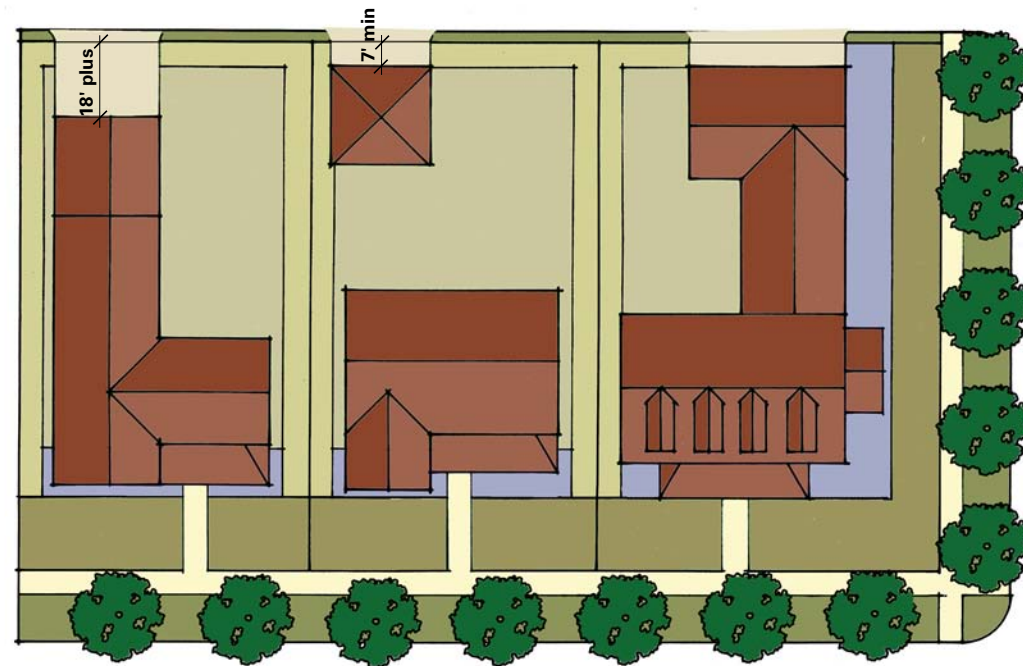
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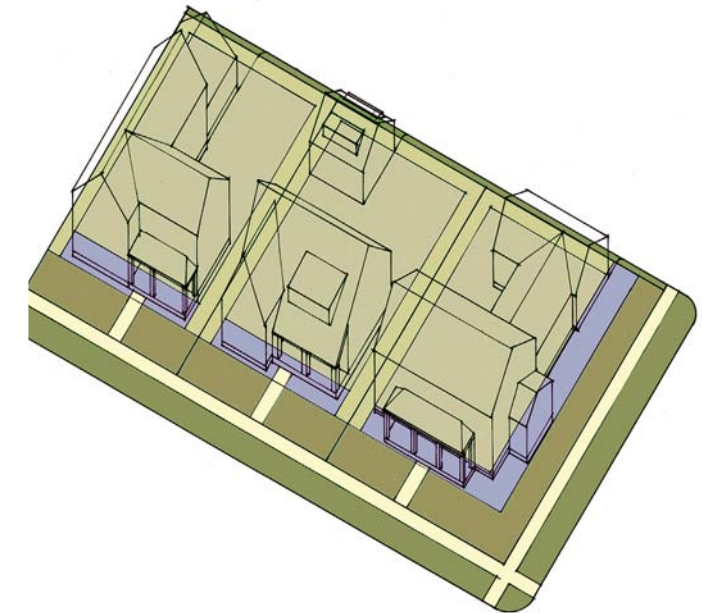
Hamlet Lots



Plan of Village Lot Zones and Setbacks



Plan of house placement on Village Lots



Village Lot Specifications



Sketch of Village Lot houses along a neighborhood street

Lot Size

Lots are typically 60 to 80 feet wide by 100 to 120 feet deep.

Main Body

The main body of the house shall be a maximum of 44 feet wide within the Front Facade Zone.

Front Yard Setback/ Front Facade Zone

Typically houses have a minimum 15-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 10-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 10 feet between buildings.

Side Street Setback/ Side Street Facade Zone

Minimum 10-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent 10-foot-deep Side Street Facade Zone.

Alley Setback

Minimum 7-foot setback from the rear property line.

Side Wings

1-to 1½-story side wings are encouraged. These side wings shall be set back from the front facade of the main body by a distance equal to, or greater than, the width of the side wing.

Porch Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

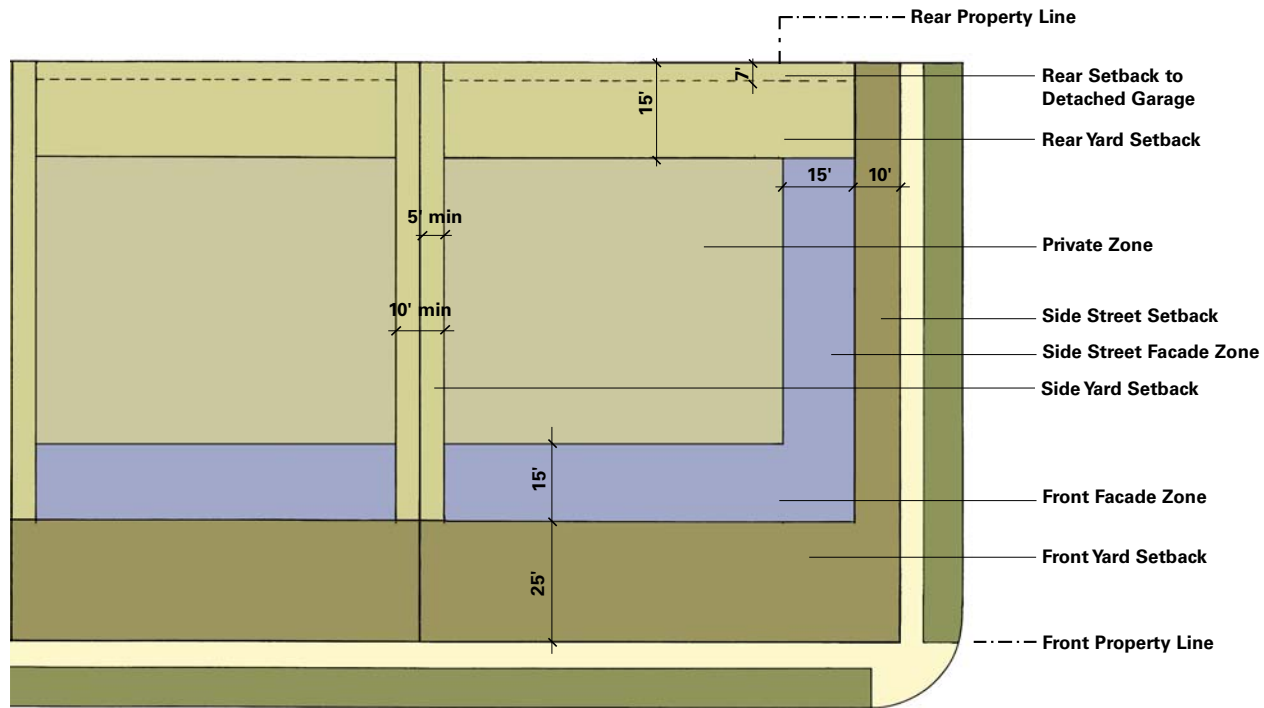
Garages shall be set back either a minimum of 7 feet from the rear lane right-of-way or 18 feet plus to create an outdoor parking pad. Garages may be either detached or attached.

Fencing Recommendations

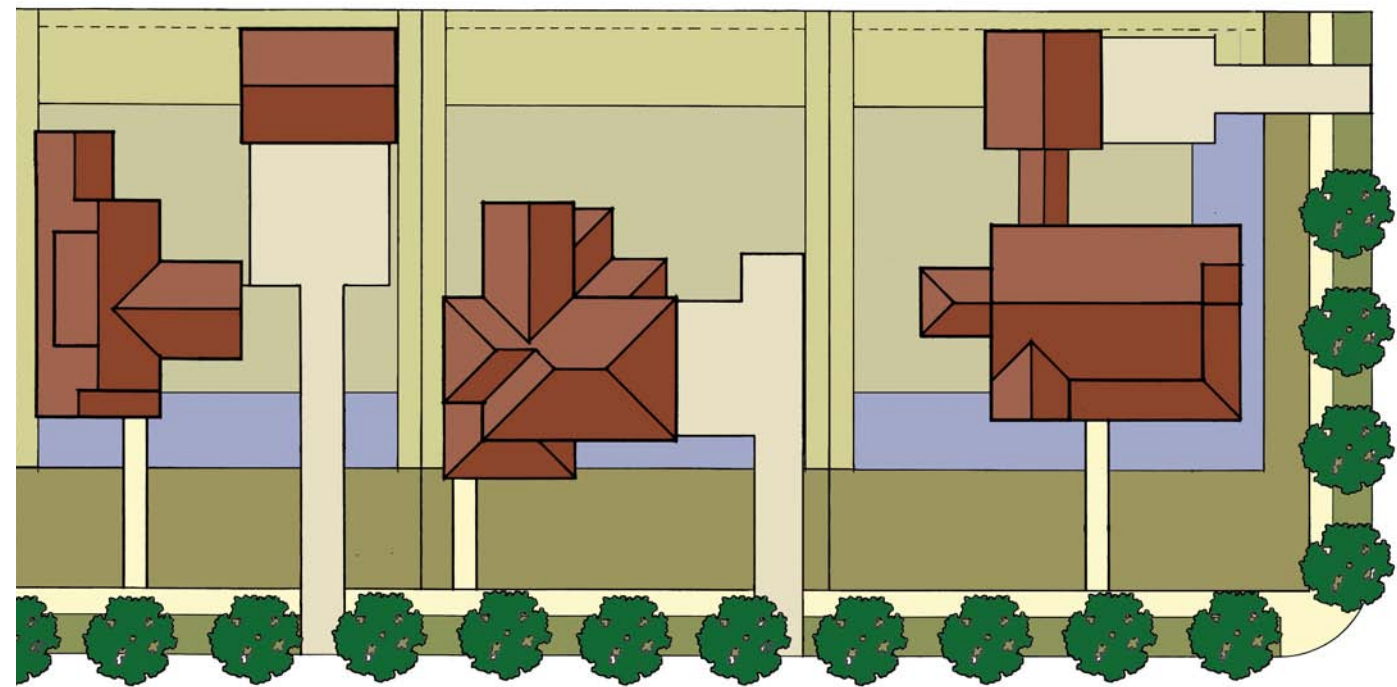
Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.



Village Lots



Plan of Estate Lot Zones and Setbacks



Plan of house placement on Estate Lots

Estate Lot Specifications



Sketch of Estate Lot houses along a neighborhood street

Estate Lots

Lot Size

Lots are typically 80 to 110 feet wide by 120 feet deep, but may be wider. Corner lots should be a minimum of 90 feet by 120 feet. Maximum lot coverage is 40%.

Main Body

The main body of the house within the Front Facade Zone shall be a maximum of 44 feet wide.

Front Yard Setback / Front Facade Zone

Typically houses have a minimum 25-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 15-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 10 feet between buildings.

Rear Setback

Minimum 7-foot setback from the rear property line for detached garages and minimum 15 feet to any habitable structure.

Side Wings

1-to 1½-story side wings are encouraged. These side wings shall be set back from the front facade of the main body by a distance equal to, or greater than, the width of the side wing.

Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments.)

Garage Requirements

Garages may be either detached or attached. Garages opening onto public streets must be set back a minimum of 18 feet from the front facade of the main body. Driveways within the front yard shall be no wider than 10 feet. Minimum two-car garage required. Garage doors shall be no wider than 9 for a single door and 16 feet for a double.

Street-loaded garages on corner lots must be designed as distinct pavilions linked to the Main Body by single-story wings or detached. Garages must be

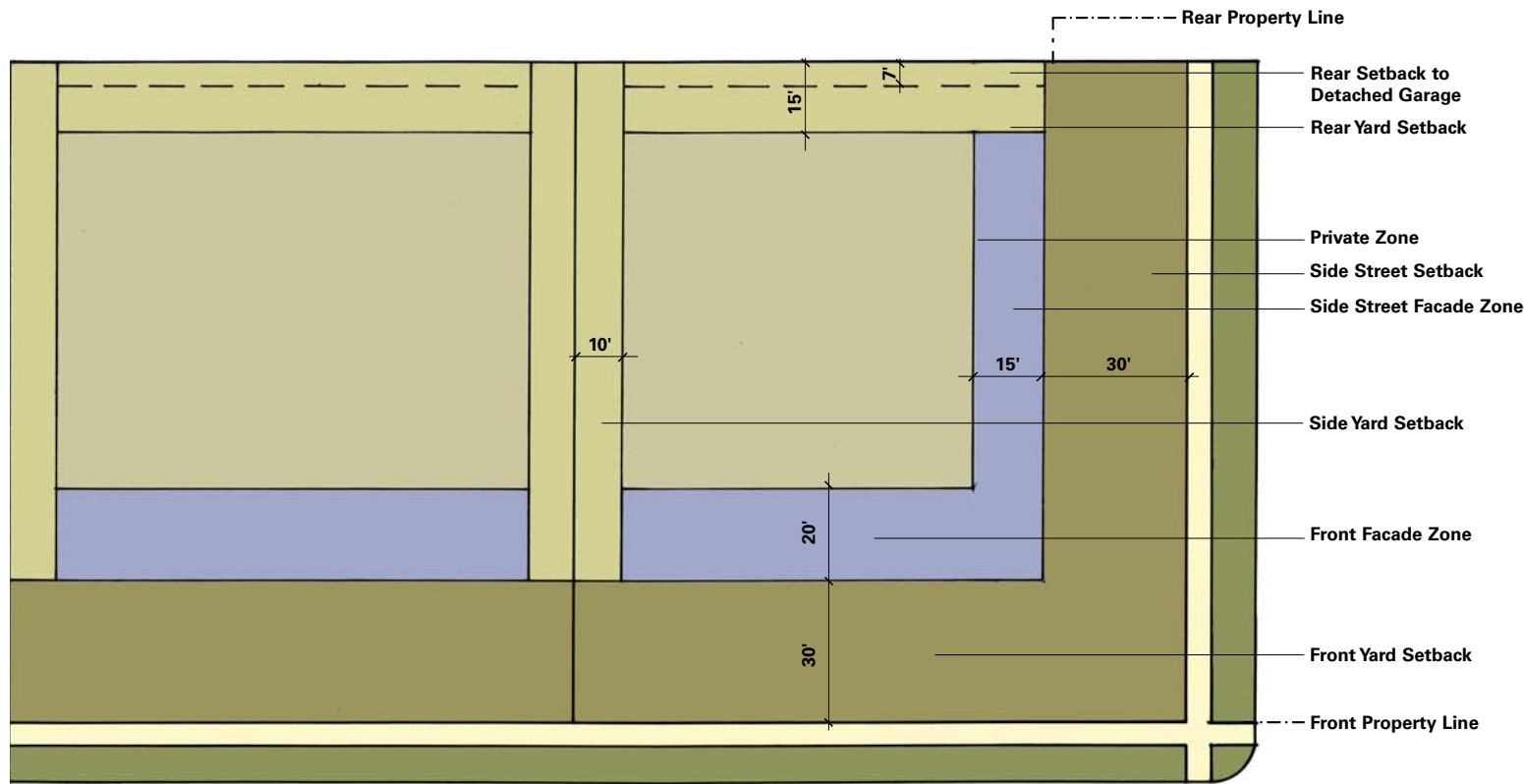
recessed a minimum of 5 feet behind the side facade of the house and a minimum of 18 feet from the edge of the sidewalk.

An accessory unit is permitted over the garage; side drive accessed units may park on street.

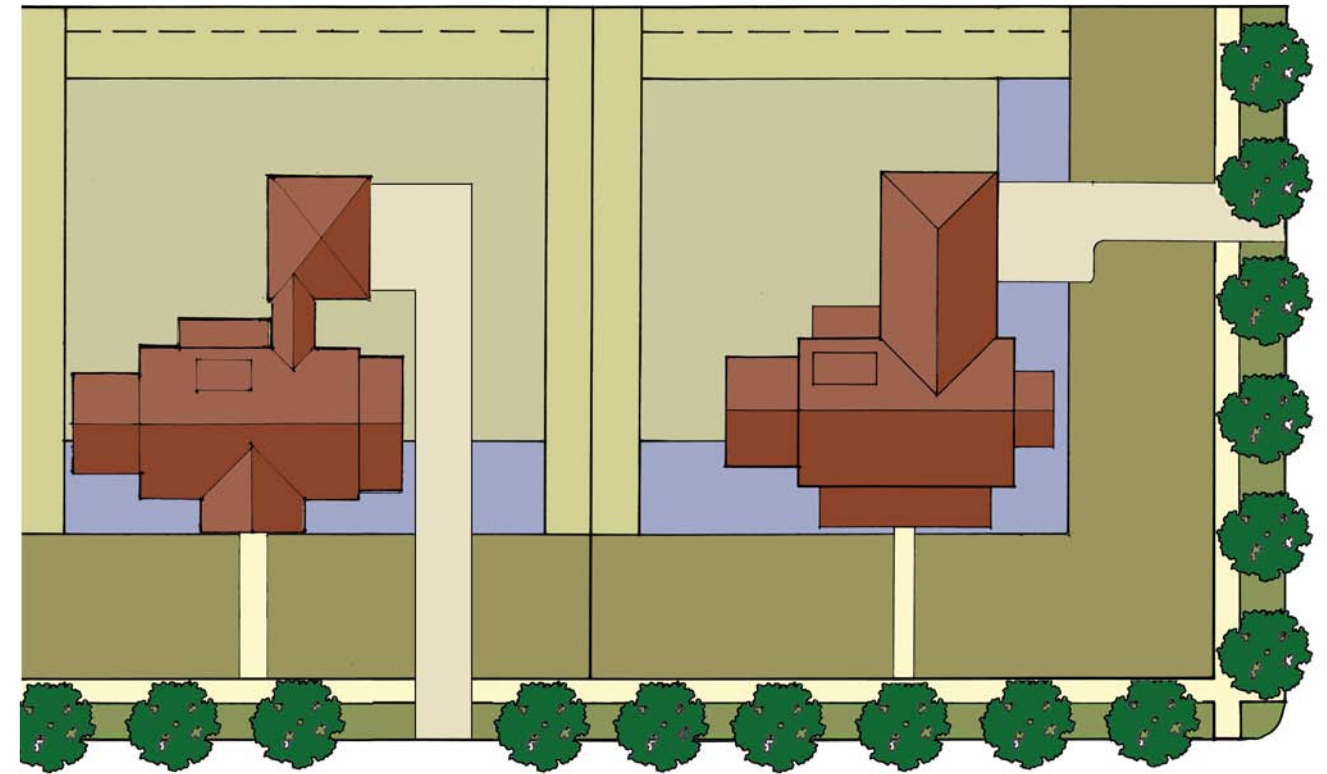
Fencing Recommendations

Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.





Plan of Manor Lot Zones and Setbacks



Plan of house placement on Manor Lots

Manor Lot Specifications



Sketch of Manor Lot houses along a neighborhood street

Manor Lots

Lot Size

Lots are typically greater than 110 feet wide by 140 feet deep, but may be wider. Corner lots should be a minimum of 130 feet by 140 feet. Maximum lot coverage is 40%.

Main Body

The face of the main body of the building will be placed within the Private Zone. Main body widths are a maximum of 60 feet.

Front Yard Setback/ Front Facade Zone

Typically houses have a minimum 30-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 20-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 20 feet between buildings.

Rear Setback

Minimum 7-foot setback from the rear property line for detached garages and minimum 15 feet to any habitable structure.

Side Wings

Single-story wings are encouraged. They may be used to increase maximum area calculations by up to 15%.

Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to setback requirements on page B-11 for all permitted encroachments).

Garage Requirements

Garages may be either detached or attached. Garages opening onto public streets must be set back a minimum of 18 feet from the front facade of the main body. Driveways within the front yard shall be no wider than 10 feet. Minimum two-car garage required. Garage doors shall be no wider than 9 feet for a single door and 16 feet for a double.

Street-loaded garages on corner lots must be designed as distinct pavilions linked to the Main Body by single-story wings or detached. Garages must be

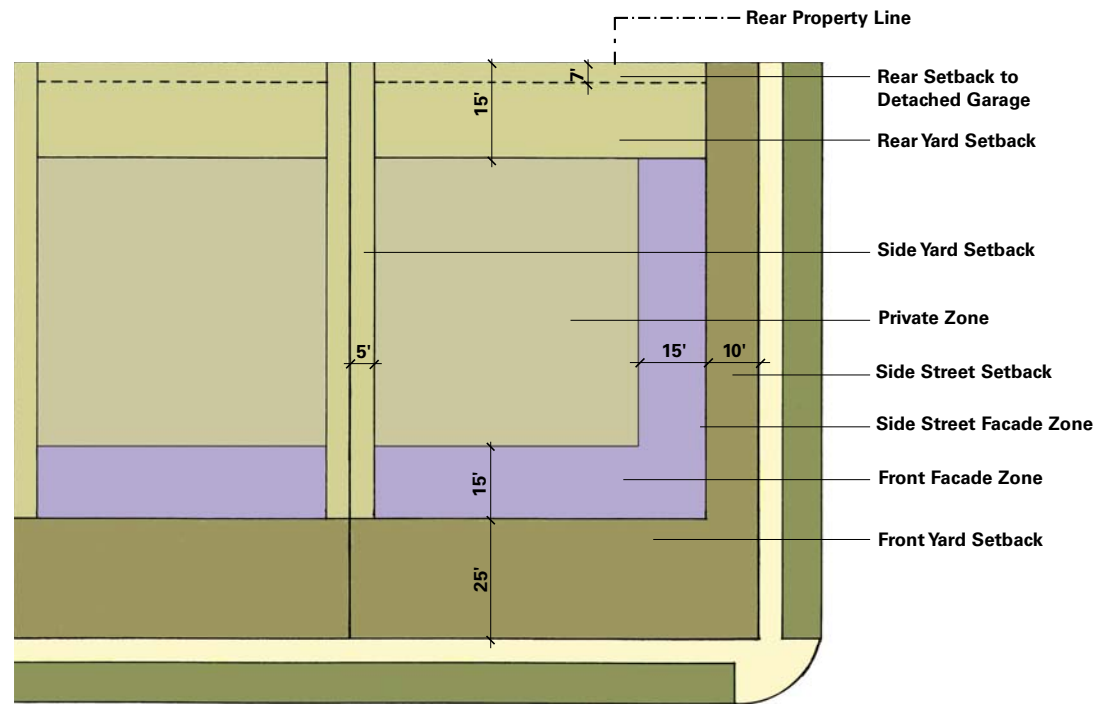
recessed a minimum of 5 feet behind the side facade of the house and a minimum of 18 feet from the edge of the sidewalk.

An accessory unit is permitted over the garage; side drive accessed units may park on street.

Fencing Recommendations

Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.





Plan of Front-Loaded Lot Zones and Setbacks



Plan showing placement of typical front-loaded houses on lots

Front-Loaded Lot Specifications



Sketch of Front-Loaded Lot houses along a neighborhood street

Front-Loaded Lots

Lot Size

Front-loaded lots are typically 60+ feet wide by 120 feet deep. Corner lots should be a minimum of 70 feet by 120 feet. Maximum lot coverage is 40%.

Main Body

The face of the main body of the building will be placed within the Front Facade Zone. The main body width is 40 feet for lots less than 80 feet in width and 44 feet for lots greater than 80 feet in width.

Front Yard Setback/ Front Facade Zone

Houses have a 25-foot setback from the front property line to the house. The front facade of the building may be located anywhere within the adjacent 15-foot-deep Front Facade Zone. (See lot matrix for specific lot requirements.)

Side Yard Setback

Side Yard Setbacks should total a minimum of 10 feet between buildings.

Rear Setback

Minimum 7-foot setback from the rear property line for detached garages and minimum 15 feet to any habitable structure.

Side Wings

Single-story wings are encouraged. They may be used to increase maximum area calculations by up to 15%.

Encroachments

Porches may extend up to 8 feet into the front yard. Bay windows may also extend up to 2 feet into the front yard. (Refer to overview of setback requirements for all encroachments on page B-11).

Garage Requirements

Garages may be either detached or attached. Garages opening onto public streets must be set back a minimum of 18 feet from the front facade of the main body. Driveways within the front yard shall be no wider than 10 feet. Minimum two-car garage required. Garage doors shall be no wider than 9 feet.

Street-loaded garages on corner lots must be designed as distinct pavilions linked to the Main Body by single-story wings or detached. Garages must be

recessed a minimum of 5 feet behind the side facade of the house and a minimum of 18 feet from the edge of the sidewalk.

An accessory unit is permitted over the garage; side drive accessed units may park on street.

Fencing Recommendations

Fences provide delineation between public and private space and are strongly recommended on corner lots and between houses. For more specific fencing guidelines, see page F-5 in the Landscape Patterns section.

